

PARCEL 3
1.49 AC ±
NOT PART OF
SUBDIVISION

PARCEL 1
616,810 SF ±
14.16 AC.

PARCEL 2
61,256.3 SF ±
1.4 AC

THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD ZONE
AS SHOWN ON FEMA MAP 25009C0108F DATED JULY 3, 2012

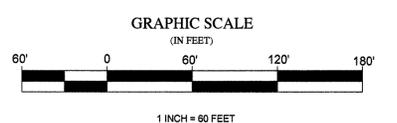
CERTIFICATION
I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH
THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.



07 6-30-14
PROFESSIONAL LAND SURVEYOR DATE

APPROVAL BY AMESBURY PLANNING BOARD

DATE



DEFINITIVE CLUSTER SUBDIVISION PLAN
POINT SHORE MEADOWS
ASSESSORS MAP 91, PARCELS 18 & 17A
AMESBURY, MA

EXISTING CONDITIONS PLAN

PREPARED FOR
AMANDA LANE REALTY TRUST
1 RIVERVIEW BLVD
METHUEN, MA 01844

SCALE: 1" = 60' JUNE 30, 2014

BENJAMIN C. OSGOOD, JR., PE
24 JULIE AVE
SALEM, NH 03079

FOR REGISTRY USE ONLY

DRAWN BY: K.J.B., C.H. & B.C.O., JR	SHEET #: 2 of 18	CHECKED BY: B.C.O. Jr.
FILE #: 1529		DESIGN BY: B.C.O. Jr.

N/F
WILSON
BOOK 23690 PG 565
ASSESSORS MAP 90 LOT 39

N/F
MCPARTLAND
BOOK 12932 PG 423
ASSESSORS MAP 90 LOT 40

N/F
JH498 NOMINEE
REALTY TRUST
BOOK 23878 PG 332
ASSESSORS MAP 90 LOT 43

N/F
FORBS
BOOK 1580 PG 388
ASSESSORS MAP 91 LOT 19

N/F
MERCHANT FAMILY
REALTY TRUST
BOOK 28056 PG 224
ASSESSORS MAP 90 LOT 42

N/F
MCVICKER
BOOK 29495 PG 559
ASSESSORS MAP 91 LOT 16

OPEN SPACE PARCEL A
54,214 S.F. +/-
THIS PROPERTY TO BE ADDED TO
19A EVANS PLACE TO PROVIDE
FRONTAGE

OPEN SPACE PARCEL D
10,693 S.F.

OPEN SPACE PARCEL E
27,808 S.F. +/-

OPEN SPACE PARCEL C
30,373.00 S.F. +/-
THIS PARCEL TO BE CONVEYED TO
THE CITY OF AMESBURY

OPEN SPACE
PARCEL B
293,405 S.F. +/-

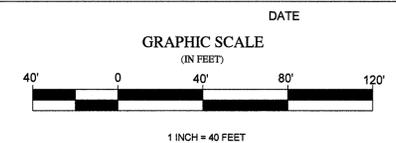
OPEN SPACE CALCULATION	
PARCEL A	1.24 Acres
PARCEL B	6.73 Acres
PARCEL C	0.70 Acres
PARCEL D	0.23 Acres
PARCEL E	0.64 Acres
TOTAL OPEN SPACE	9.46 Acres
TOTAL PARCEL AREA	15.56 Acres
OPEN SPACE PERCENTAGE	60.86%

ZONING REQUIREMENTS (RESIDENTIAL 20 DISTRICT)	
MINIMUM LOT AREA	10,000 S.F.
MINIMUM FRONTAGE	100 FT.
MINIMUM FRONT SETBACK	25 FT.
MINIMUM SIDE SETBACK	15 FT.
MINIMUM REAR SETBACK	25 FT.
MAXIMUM BUILDING HEIGHT	35 FT.

PLAN REFERENCES

- 1.) E.S.D.R.D. PLAN BOOK 185 PLAN 143
- 2.) 1953 ESSEX COUNTY LAYOUT # 4039
- 3.) E.S.D.R.D. PLAN BOOK 253 PLAN 33

APPROVAL BY AMESBURY PLANNING BOARD



REV 2	LOT LINES/AREAS	AUG 4, 2014
REV 1	LOT AREAS	JULY 24, 2014
DEFINITIVE CLUSTER SUBDIVISION PLAN POINT SHORE MEADOWS ASSESSORS MAP 91, PARCELS 18 & 17A AMESBURY, MA		
PROPOSED LOT LAYOUT PLAN (SHEET 1)		
PREPARED FOR AMANDA LANE REALTY TRUST 1 RIVERVIEW BLVD METHUEN, MA 01844		
SCALE: 1" = 40'	JUNE 30, 2014	
BENJAMIN C. OSGOOD, JR., P.E. 24 JULIE AVE SALEM, NH 03079		
DRAWN BY: D.A. & B.C.O., JR.	SHEET #: 3 of 18	CHECKED BY: B.C.O. Jr.
FILE #: 1529	DESIGN BY: B.C.O. Jr.	

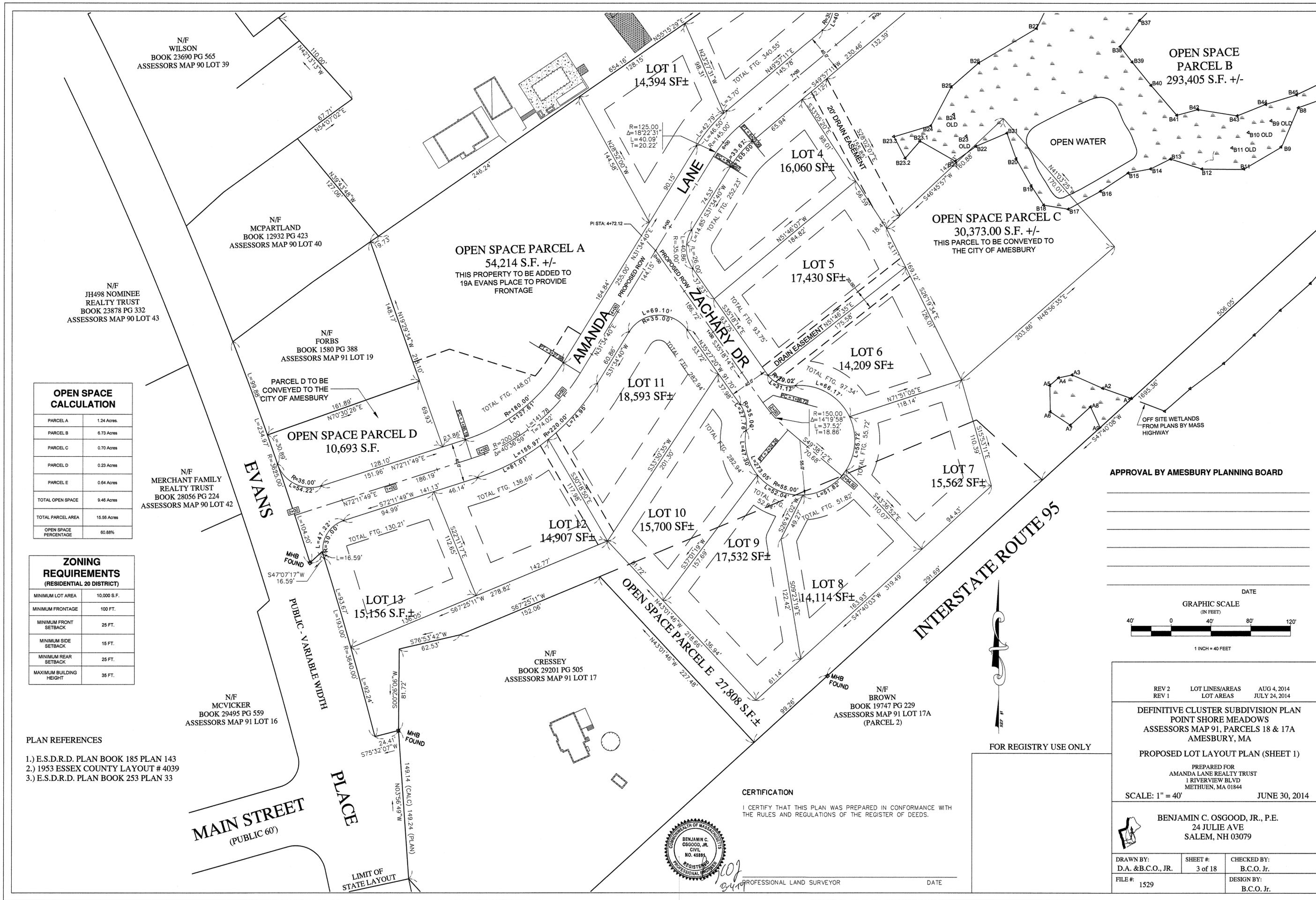
CERTIFICATION

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PROFESSIONAL LAND SURVEYOR DATE

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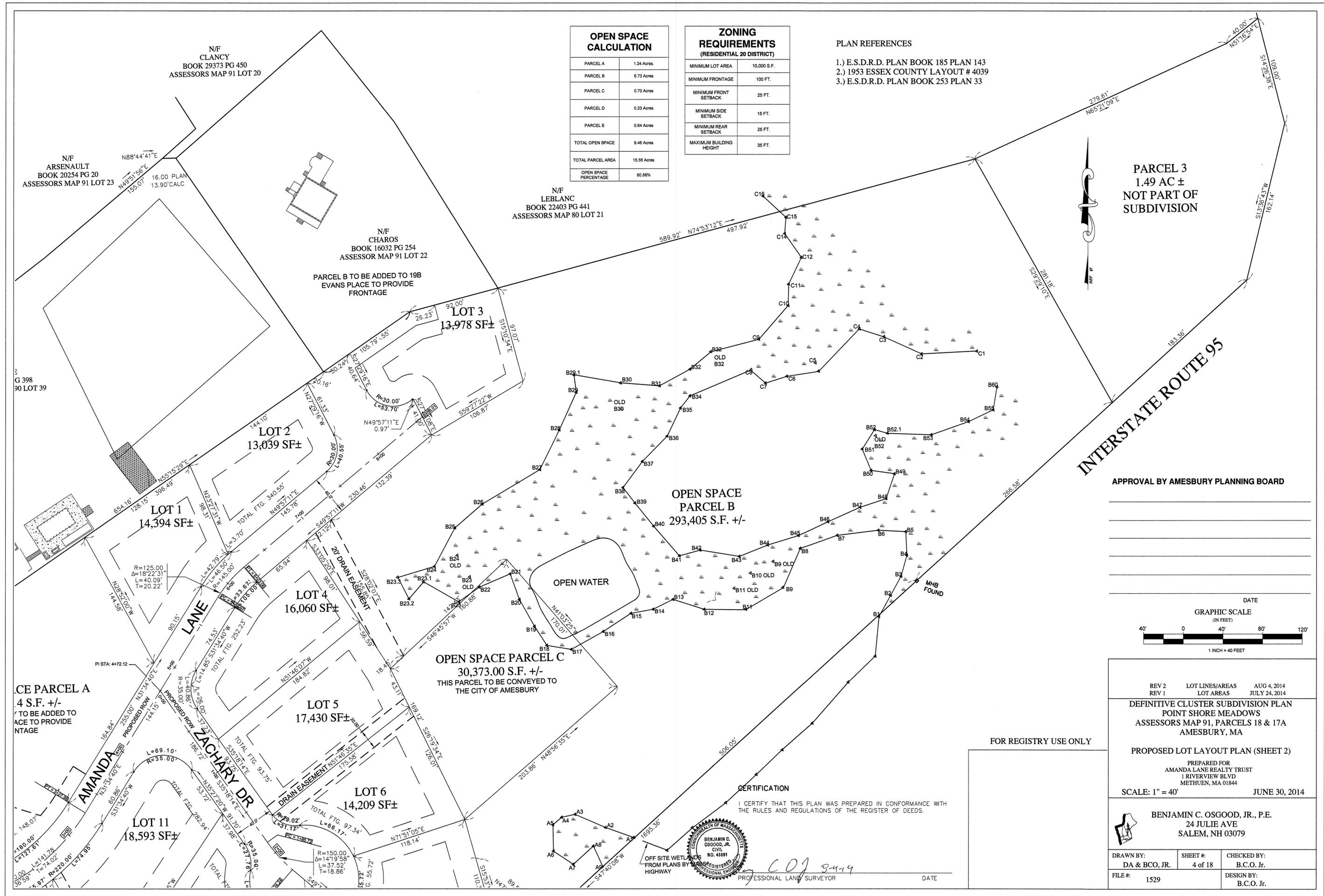


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TOTAL OPEN SPACE	9.46 Acres
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ZONING REQUIREMENTS (RESIDENTIAL 20 DISTRICT)	
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MINIMUM FRONTAGE	100 FT.
MINIMUM FRONT SETBACK	25 FT.
MINIMUM SIDE SETBACK	15 FT.
MINIMUM REAR SETBACK	25 FT.
MAXIMUM BUILDING HEIGHT	35 FT.

PLAN REFERENCES

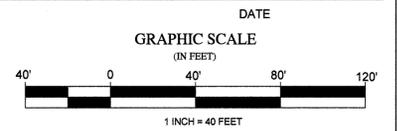
- 1.) E.S.D.R.D. PLAN BOOK 185 PLAN 143
- 2.) 1953 ESSEX COUNTY LAYOUT # 4039
- 3.) E.S.D.R.D. PLAN BOOK 253 PLAN 33



PARCEL 3
1.49 AC ±
NOT PART OF
SUBDIVISION

INTERSTATE ROUTE 95

APPROVAL BY AMESBURY PLANNING BOARD



REV 2	LOT LINES/AREAS	AUG 4, 2014
REV 1	LOT AREAS	JULY 24, 2014
DEFINITIVE CLUSTER SUBDIVISION PLAN POINT SHORE MEADOWS ASSESSORS MAP 91, PARCELS 18 & 17A AMESBURY, MA		
PROPOSED LOT LAYOUT PLAN (SHEET 2)		
PREPARED FOR AMANDA LANE REALTY TRUST 1 RIVERVIEW BLVD METHUEN, MA 01844		
SCALE: 1" = 40'	JUNE 30, 2014	
BENJAMIN C. OSGOOD, JR., P.E. 24 JULIE AVE SALEM, NH 03079		
DRAWN BY: DA & BCO, JR.	SHEET #: 4 of 18	CHECKED BY: B.C.O. JR.
FILE #: 1529	DESIGN BY: B.C.O. JR.	

FOR REGISTRY USE ONLY

CERTIFICATION

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DATE _____

CE PARCEL A
4 S.F. +/-
TO BE ADDED TO
ACE TO PROVIDE
NTAGE

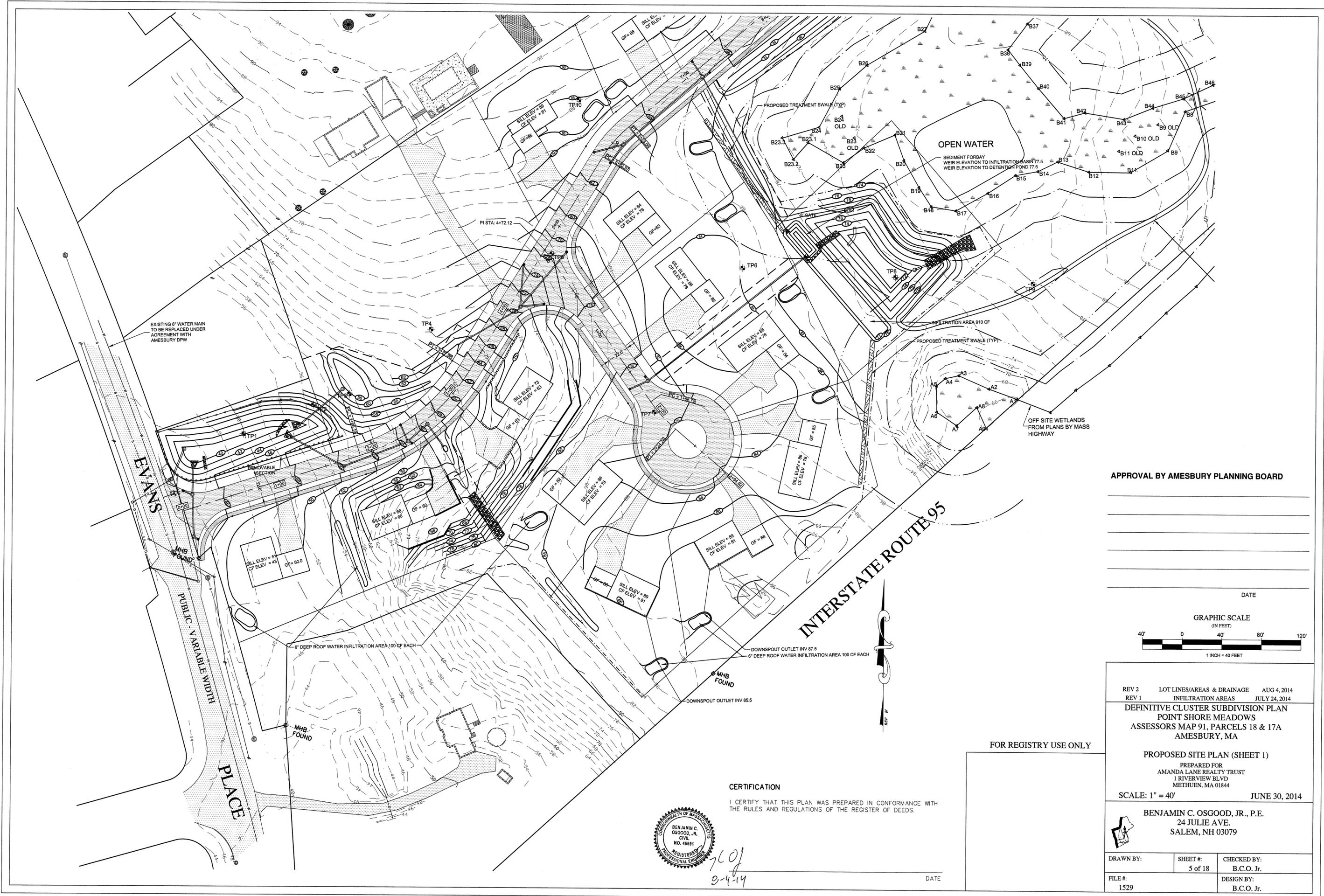
PARCEL B TO BE ADDED TO 19B
EVANS PLACE TO PROVIDE
FRONTAGE

OPEN SPACE PARCEL C
30,373.00 S.F. +/-
THIS PARCEL TO BE CONVEYED TO
THE CITY OF AMESBURY

OPEN SPACE
PARCEL B
293,405 S.F. +/-

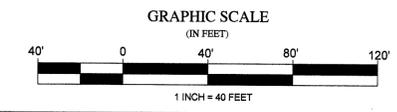
OPEN WATER

DATE



APPROVAL BY AMESBURY PLANNING BOARD

DATE



REV 2 LOT LINES/AREAS & DRAINAGE AUG 4, 2014
 REV 1 INFILTRATION AREAS JULY 24, 2014
DEFINITIVE CLUSTER SUBDIVISION PLAN
POINT SHORE MEADOWS
 ASSESSORS MAP 91, PARCELS 18 & 17A
 AMESBURY, MA

PROPOSED SITE PLAN (SHEET 1)
 PREPARED FOR
 AMANDA LANE REALTY TRUST
 1 RIVERVIEW BLVD
 METHUEN, MA 01844
 SCALE: 1" = 40' JUNE 30, 2014

BENJAMIN C. OSGOOD, JR., P.E.
 24 JULIE AVE.
 SALEM, NH 03079

DRAWN BY:	SHEET #:	CHECKED BY:
FILE #:	5 of 18	B.C.O. Jr.
1529		DESIGN BY:
		B.C.O. Jr.

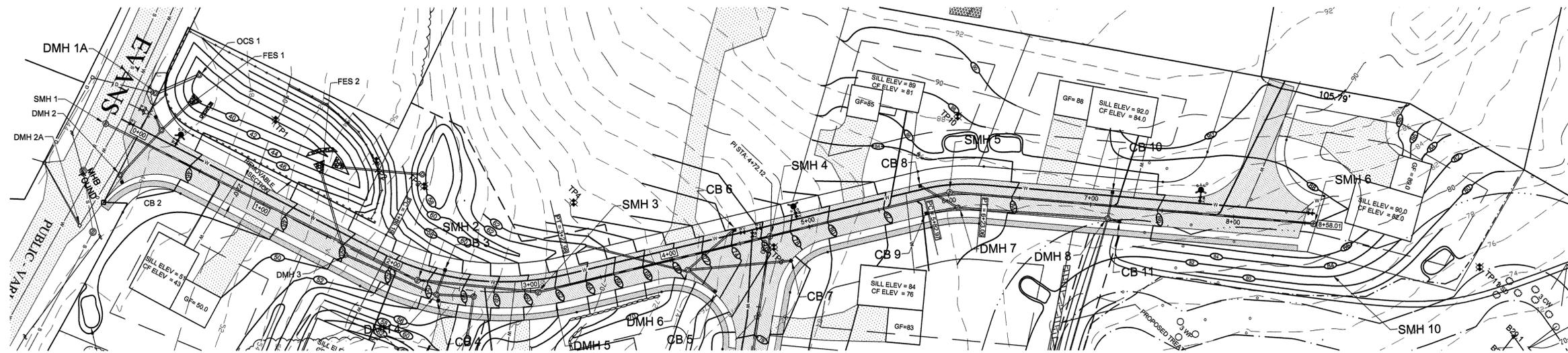
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760/
9-4-14

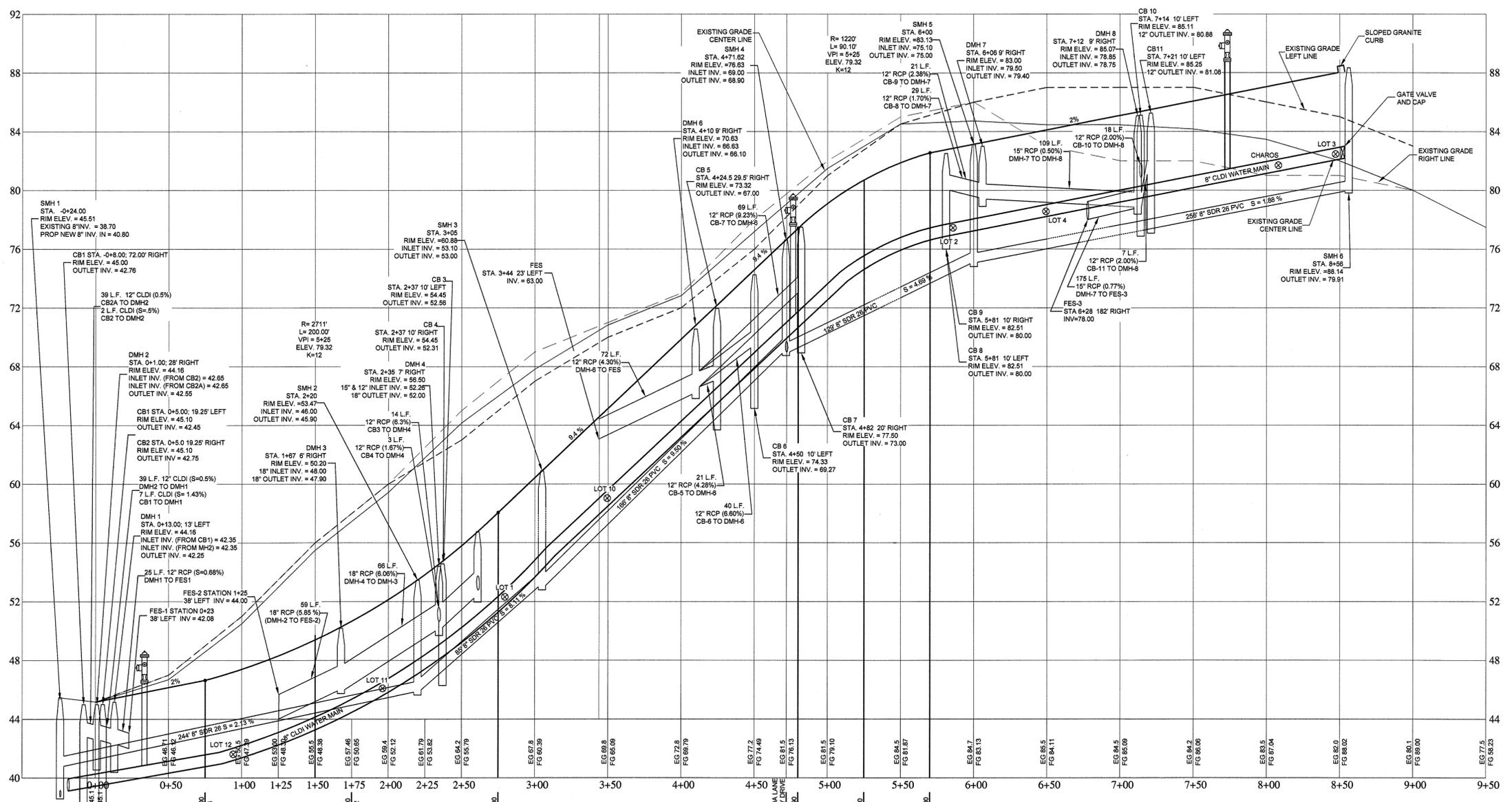
DATE



ROADWAY PLAN VIEW - AMANDA LANE

SCALE 1" = 40'

NOTE: ROADWAY CREST AND SAG VERTICAL CURVES COMPLY WITH A DESIGN SPEED OF 25 MILES PER HOUR.



ROADWAY PROFILE - AMANDA LANE

SCALE 1" = 40' HORIZONTAL 1" = 4' VERTICAL

CERTIFICATION

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COJ 3-4-14

DATE

APPROVAL BY AMESBURY PLANNING BOARD

DATE

**DEFINITIVE CLUSTER SUBDIVISION PLAN
POINT SHORE MEADOWS
ASSESSORS MAP 91, PARCELS 18 & 17A
AMESBURY, MA**

ROADWAY PROFILE SHEET 1

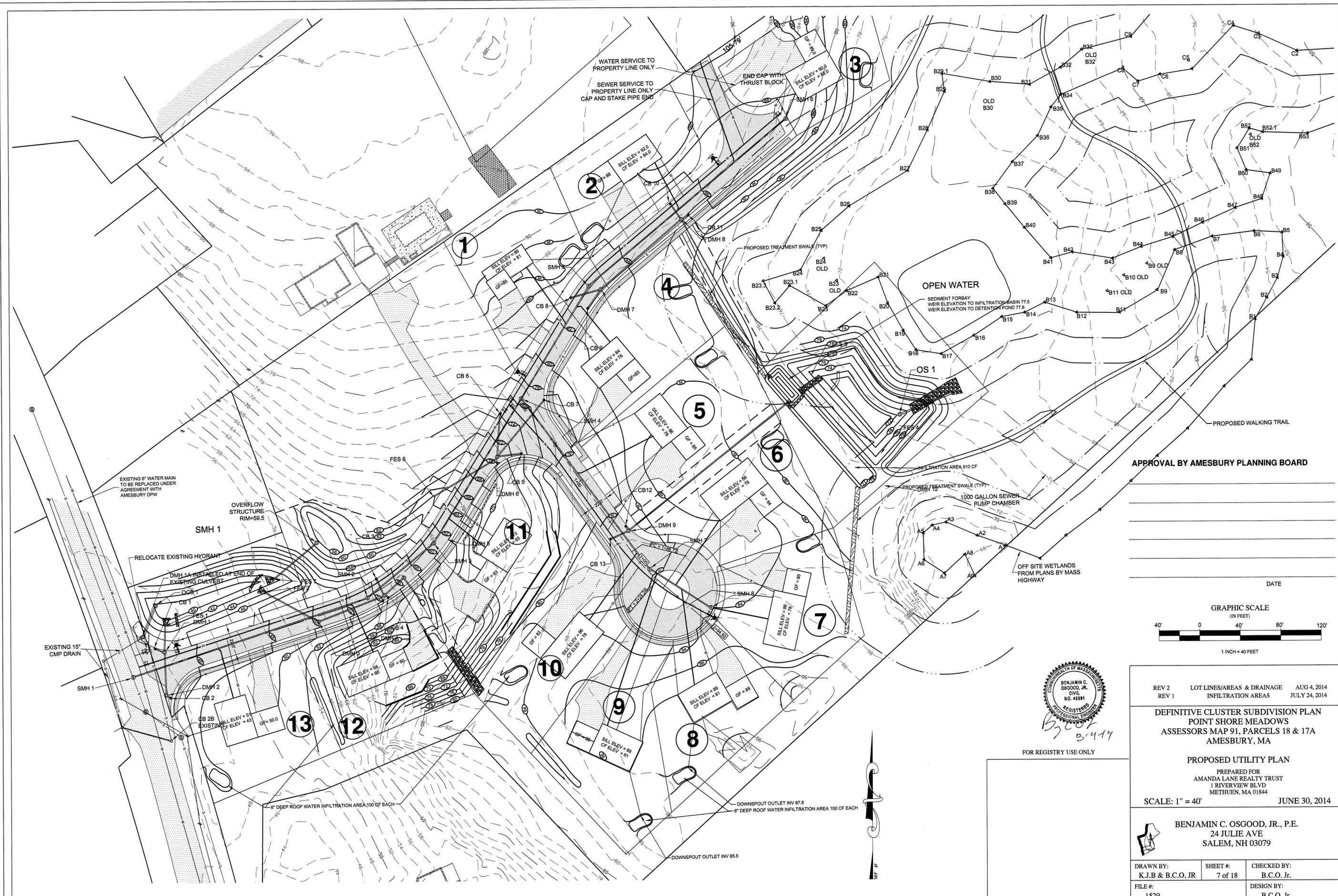
PREPARED FOR
AMANDA LANE REALTY TRUST
1 RIVERVIEW BLVD
METHUEN, MA 01844

SCALE: 1" = 40' JUNE 30, 2014



BENJAMIN C. OSGOOD, JR., P.E.
24 JULIE AVE
SALEM, NH 03079

DRAWN BY: K.J.B. & B.C.O., JR.	SHEET #: 8 of 18	CHECKED BY: B.C.O. JR.
FILE #: 1529	DESIGN BY:	B.C.O. JR.



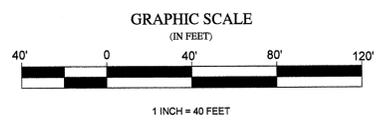
WATER SERVICE TO PROPERTY LINE ONLY
SEWER SERVICE TO PROPERTY LINE ONLY
CAP AND STAKE PIPE END

END CAP WITH THRUST BLOCK
SILL ELEV = 80.0
OF ELEV = 82.0

OPEN WATER
SEDIMENT FORSBAY
WEIR ELEVATION TO INFILTRATION BASIN 77.5
WEIR ELEVATION TO DETENTION POND 77.6

APPROVAL BY AMESBURY PLANNING BOARD

DATE



FOR REGISTRY USE ONLY

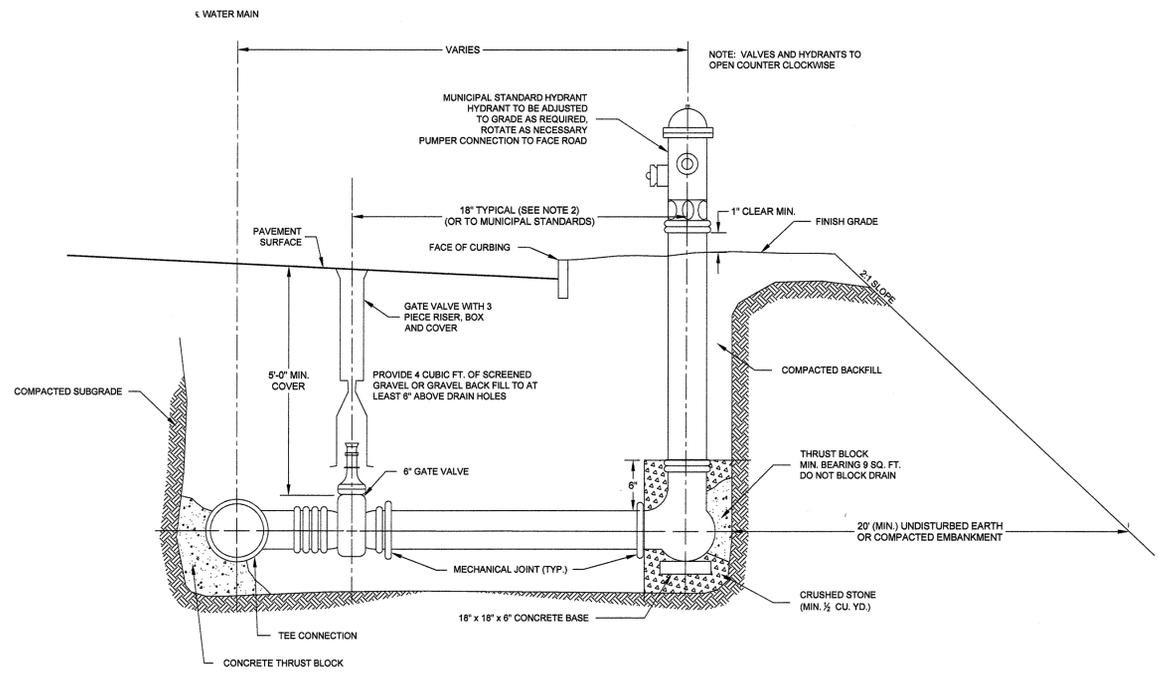
REV 2 LOT LINES/AREAS & DRAINAGE AUG 4, 2014
REV 1 INFILTRATION AREAS JULY 24, 2014

DEFINITIVE CLUSTER SUBDIVISION PLAN
POINT SHORE MEADOWS
ASSESSOR'S MAP 91, PARCELS 18 & 17A
AMESBURY, MA

PROPOSED UTILITY PLAN
PREPARED FOR
AMANDA LANE REALTY TRUST
1 RIVERVIEW BLVD
METHUEN, MA 01844
SCALE: 1" = 40' JUNE 30, 2014

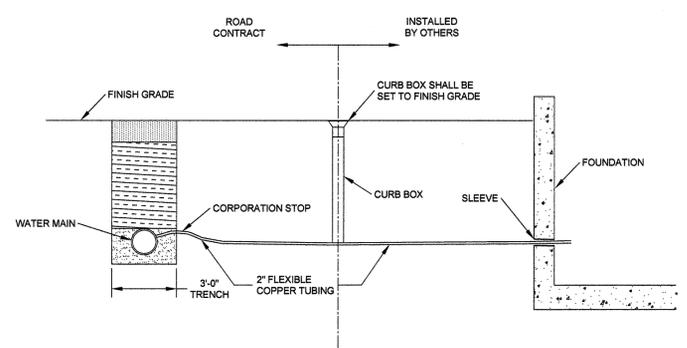
BENJAMIN C. OSGOOD, JR., P.E.
24 JULIE AVE
SALEM, NH 03079

DRAWN BY: K.J.B & B.C.O. JR	SHEET #: 7 of 18	CHECKED BY: B.C.O. JR.
FILE #: 1529		DESIGN BY: B.C.O. JR.



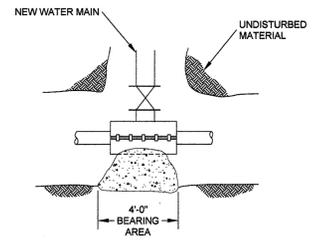
HYDRANT CONNECTION
NOT TO SCALE

- HYDRANT NOTES:**
1. CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE THEY CAN BEAR ON UNDISTURBED EARTH AS SHOWN. USE CLAMPS AND TIE RODS OR OTHER ACCEPTABLE METHOD OF JOINT RESTRAINT WHERE SOIL CONDITIONS PROHIBIT THE USE OF THRUST BLOCKS.
 2. HYDRANT IN SIDEWALK AREAS TO BE LOCATED TO PROVIDE MINIMUM CLEAR SIDEWALK PASSAGE OF 3 FEET AT HYDRANT.

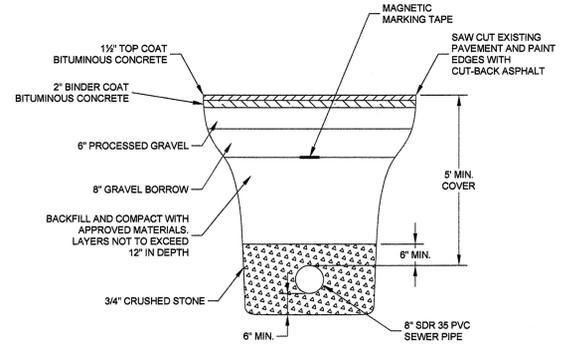


TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE

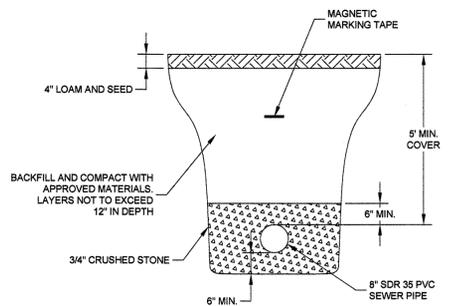
NOTE: A BACKFLOW PREVENTER MUST BE INSTALLED ON ALL DOMESTIC WATER LINES.



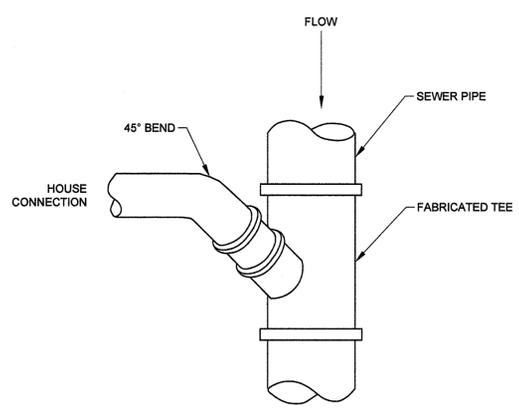
TAPPING, SLEEVE & VALVE
NOT TO SCALE



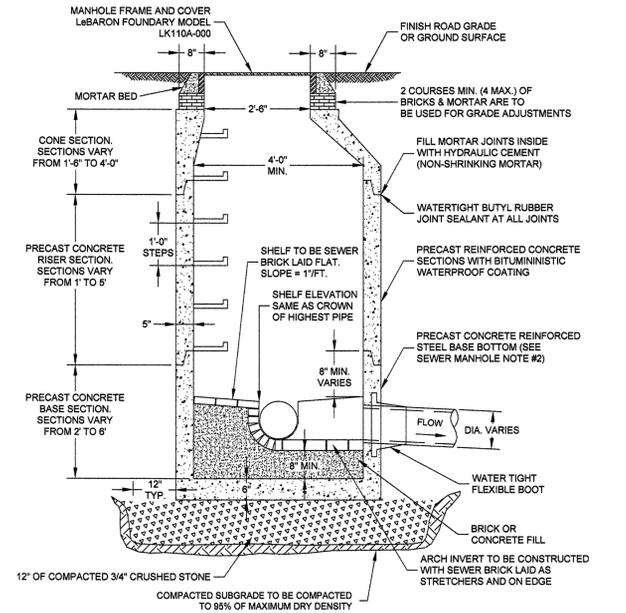
SECTION A-A
8\"/>



SECTION B-B
8\"/>



TYPICAL HOUSE CONNECTION - SEWER
NOT TO SCALE



PRECAST CONCRETE SEWER MANHOLE
NOT TO SCALE

- SEWER MANHOLE NOTES**
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 3. H-20 DESIGN LOADING PER AASHTO HS-20-44. ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 4. BUTYL RESIN SECTION JOINT CONFORMS TO LATEST ASTM C443 SPEC.
 5. STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEP CONFORMS TO LATEST ASTM C478 SPEC. STEPS SHALL BE INSTALLED AT 12\"/>

APPROVAL BY AMESBURY PLANNING BOARD

DATE

DEFINITIVE CLUSTER SUBDIVISION PLAN
POINT SHORE MEADOWS
ASSESSORS MAP 91, PARCELS 18 & 17A
AMESBURY, MA

DETAIL SHEET 1

PREPARED FOR
AMANDA LANE REALTY TRUST
1 RIVERVIEW BLVD
METHUEN, MA 01844

SCALE: 1" = 40' JUNE 30, 2014

FOR REGISTRY USE ONLY

CERTIFICATION

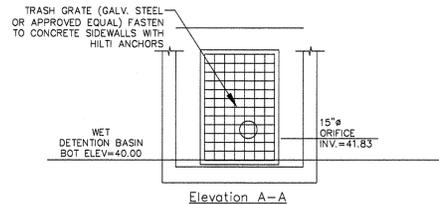
I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.



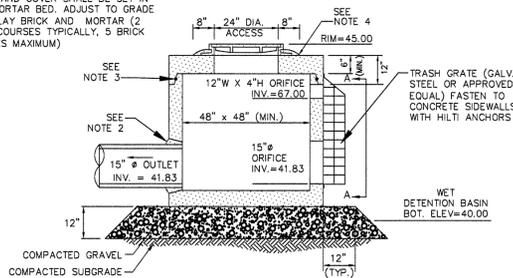
3 C O J 8-9-14

DATE

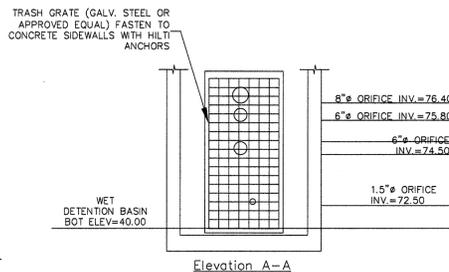
DRAWN BY: K.J.B. & B.C.O., JR.	SHEET #: 10 of 15	CHECKED BY: B.C.O. Jr.
FILE #: 1529	DESIGN BY: B.C.O. Jr.	



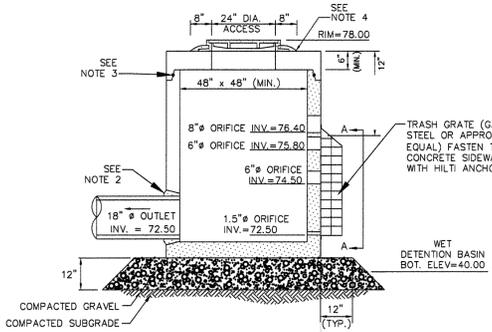
- Notes:**
1. ALL SECTIONS SHALL BE DESIGNED FOR H-20 LOADING.
 2. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 4. FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)



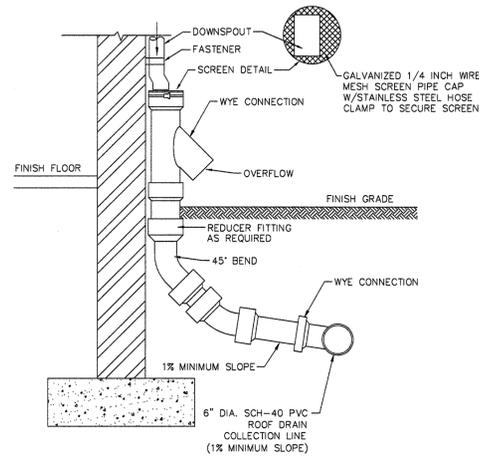
PRECAST CONCRETE OUTLET CONTROL STRUCTURE (OCS-1)
NOT TO SCALE



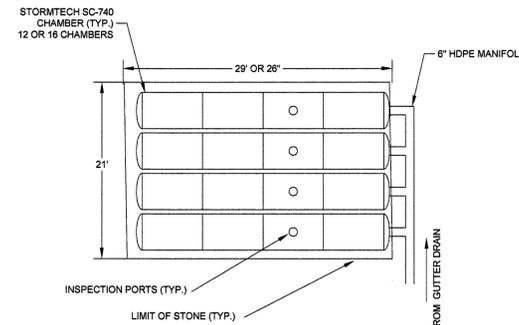
- Notes:**
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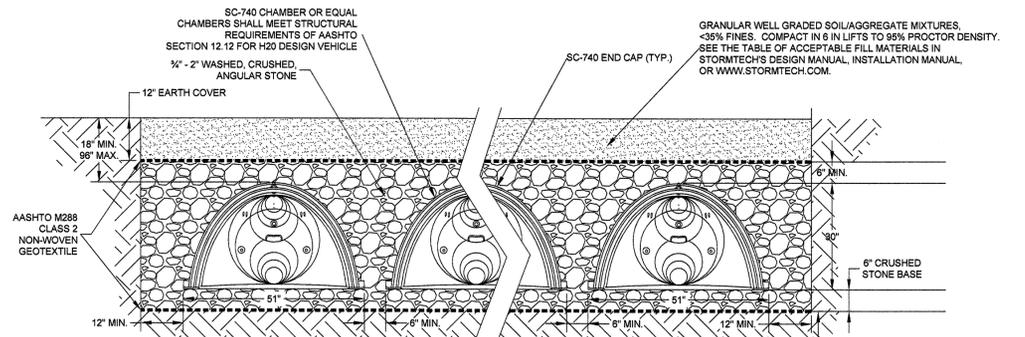
PRECAST CONCRETE OUTLET CONTROL STRUCTURE (OCS-2)
NOT TO SCALE



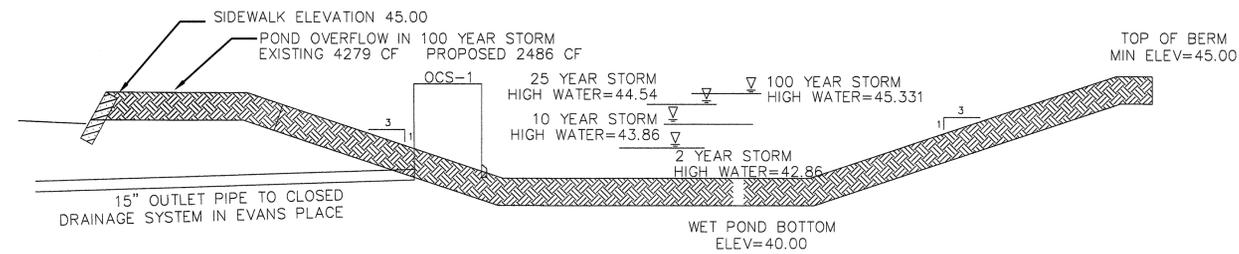
ROOF DRAIN COLLECTOR DETAIL
NOT TO SCALE



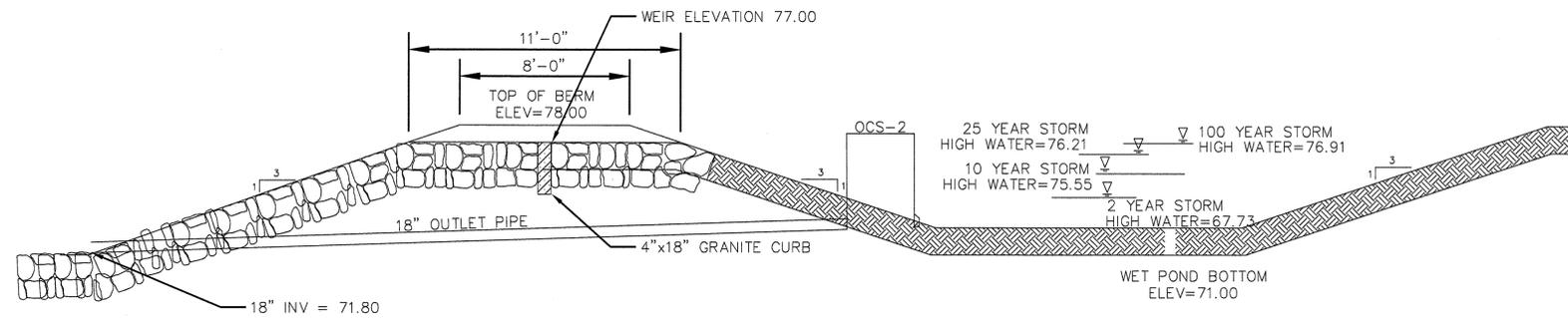
INFILTRATION STRUCTURE DETAIL
NOT TO SCALE



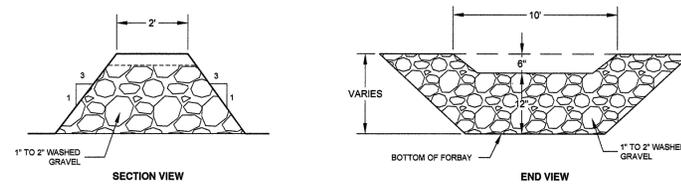
STORMTECH SC-740 CHAMBER END SECTION DETAIL
NOT TO SCALE



CROSS SECTION DETENTION POND 1
NOT TO SCALE



CROSS SECTION DETENTION POND 2
NOT TO SCALE



SEDIMENT FOREBAY/CHECK DAM DETAIL
NOT TO SCALE

APPROVAL BY AMESBURY PLANNING BOARD

DATE

FOR REGISTRY USE ONLY

DEFINITIVE CLUSTER SUBDIVISION PLAN
POINT SHORE MEADOWS
ASSESSORS MAP 91, PARCELS 18 & 17A
AMESBURY, MA

DETAIL SHEET 3
PREPARED FOR
AMANDA LANE REALTY TRUST
1 RIVERVIEW BLVD
METHUEN, MA 01844
SCALE: AS SHOWN JUNE 30, 2014

BENJAMIN C. OSGOOD, JR., P.E.
24 JULIE AVE
SALEM, NH 03079

DRAWN BY: B.C.O., JR.	SHEET #: 12 of 18	CHECKED BY: B.C.O. Jr.
FILE #: 1529	DESIGN BY: B.C.O. Jr.	

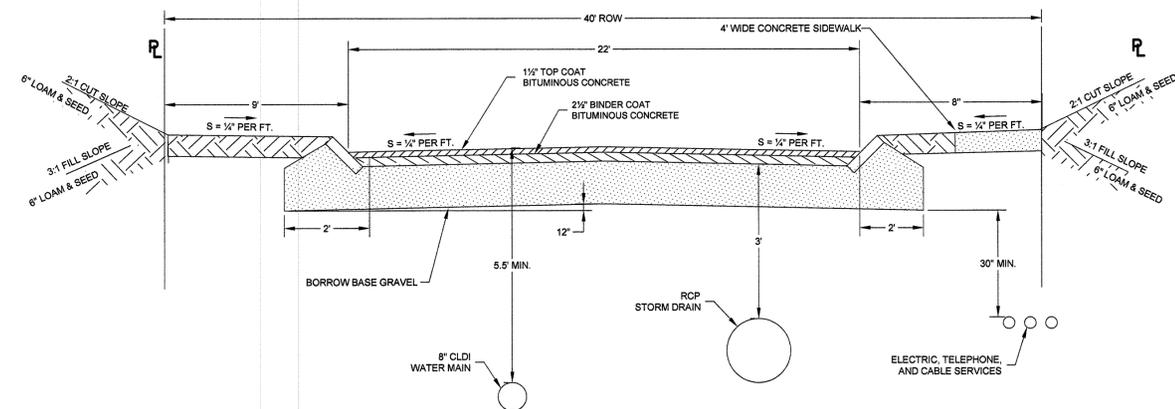
CERTIFICATION

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360 8-4-14

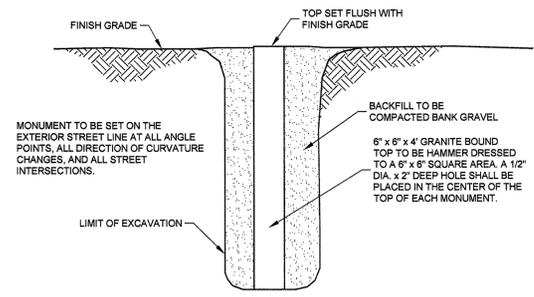
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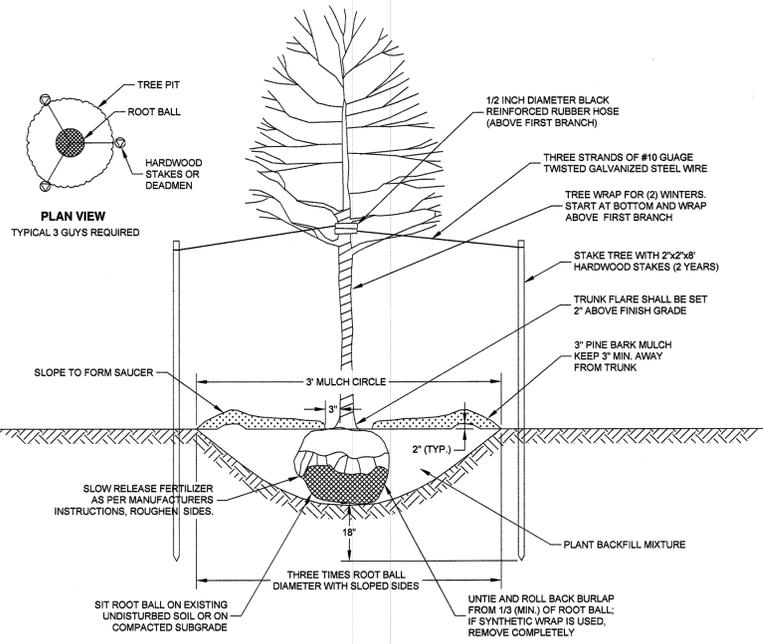
ROADWAY CROSS SECTION DETAIL
NOT TO SCALE

ROADWAY NOTES:

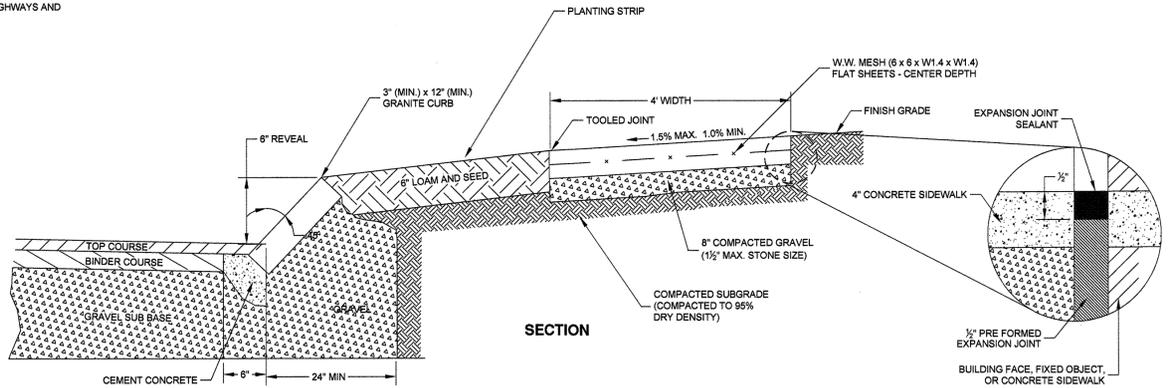
1. REMOVE ALL UNSUITABLE MATERIAL BELOW BOTTOM ELEVATION OF BORROW BASE GRAVEL AND REPLACE WITH CLEAN GRANULAR MATERIAL, FREE FROM STONES GREATER THAN 8" IN DIAMETER, CONSTRUCTION DEBRIS, STUMPS, OR OTHER DELETERIOUS MATERIALS.
2. 4" BITUMINOUS CONCRETE SHALL BE INSTALLED IN 2 LAYERS. THE FIRST LAYER BEING A 2 1/2" BINDER COAT. THE SECOND LAYER BEING A 1 1/2" TOP COAT.
3. BORROW BASE GRAVEL TO CONFORM TO COMMONWEALTH OF MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, SPECIFICATION M 1.03.0 TYPE C, CONTAINING CLEAR GRANULAR MATERIAL FREE FROM FINES AND STONES LARGER THAN 2".
4. ALL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12" IN DEPTH AND COMPACTED.



STONE BOUND DETAIL
NOT TO SCALE



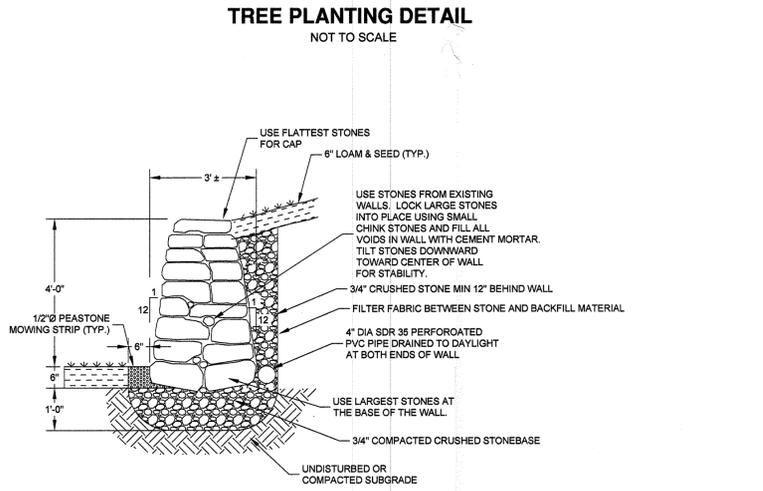
TREE PLANTING DETAIL
NOT TO SCALE



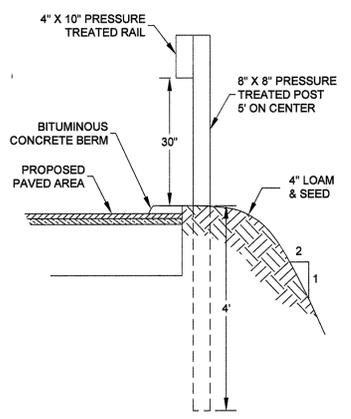
POURED CONCRETE SIDEWALK
NOT TO SCALE

CONCRETE SIDEWALK NOTES:

1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE FORMED EXPANSION JOINT FILLER & SEALER.
2. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
4. CEMENT CONCRETE SHALL BE 4000 PSI - TYPE II.



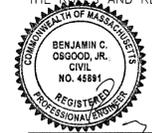
CEMENTED FIELD STONE RETAINING WALL
NOT TO SCALE



GUARD RAIL DETAIL
NOT TO SCALE

CERTIFICATION

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7 C 02 8-4-14
DATE

APPROVAL BY AMESBURY PLANNING BOARD

DATE

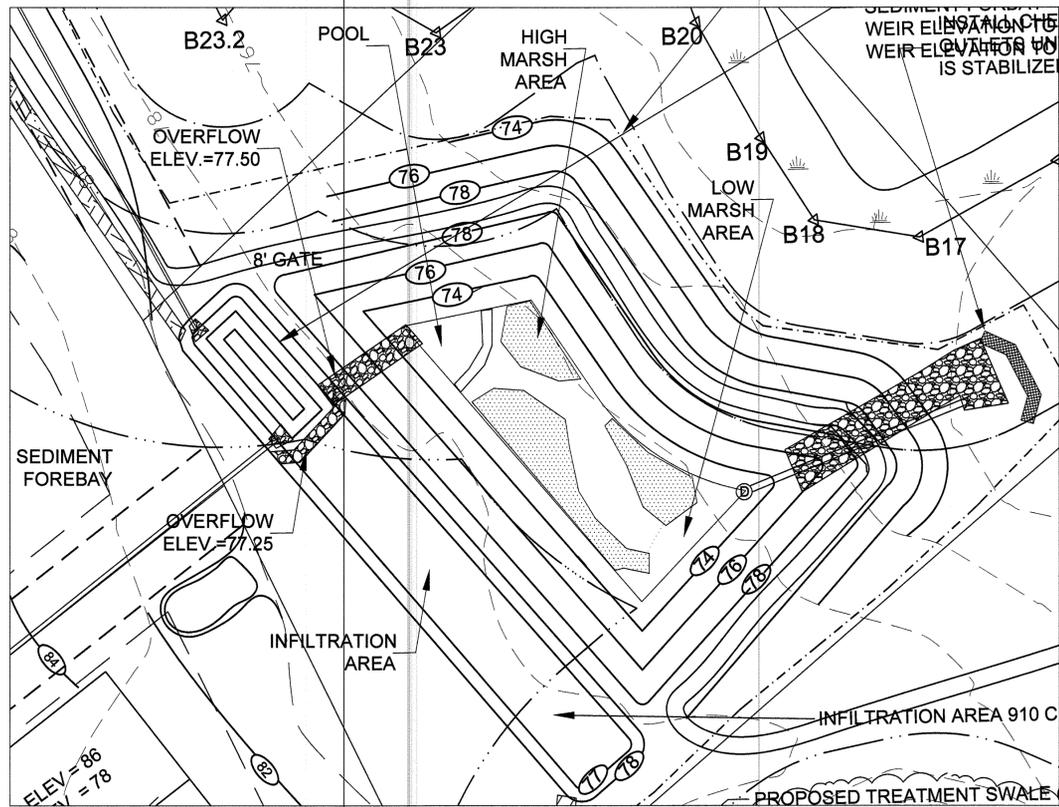
DEFINITIVE CLUSTER SUBDIVISION PLAN
POINT SHORE MEADOWS
ASSESSORS MAP 91, PARCELS 18 & 17A
AMESBURY, MA

DETAIL SHEET 4
PREPARED FOR
AMANDA LANE REALTY TRUST
1 RIVERVIEW BLVD
METHUEN, MA 01844
SCALE: AS SHOWN JUNE 30, 2014

BENJAMIN C. OSGOOD, JR., P.E.
24 JULIE AVE
SALEM, NH 03079

DRAWN BY: B.C.O., JR.	SHEET #: 13 of 18	CHECKED BY: B.C.O. Jr.
FILE #: 1529	DESIGN BY: B.C.O. Jr.	

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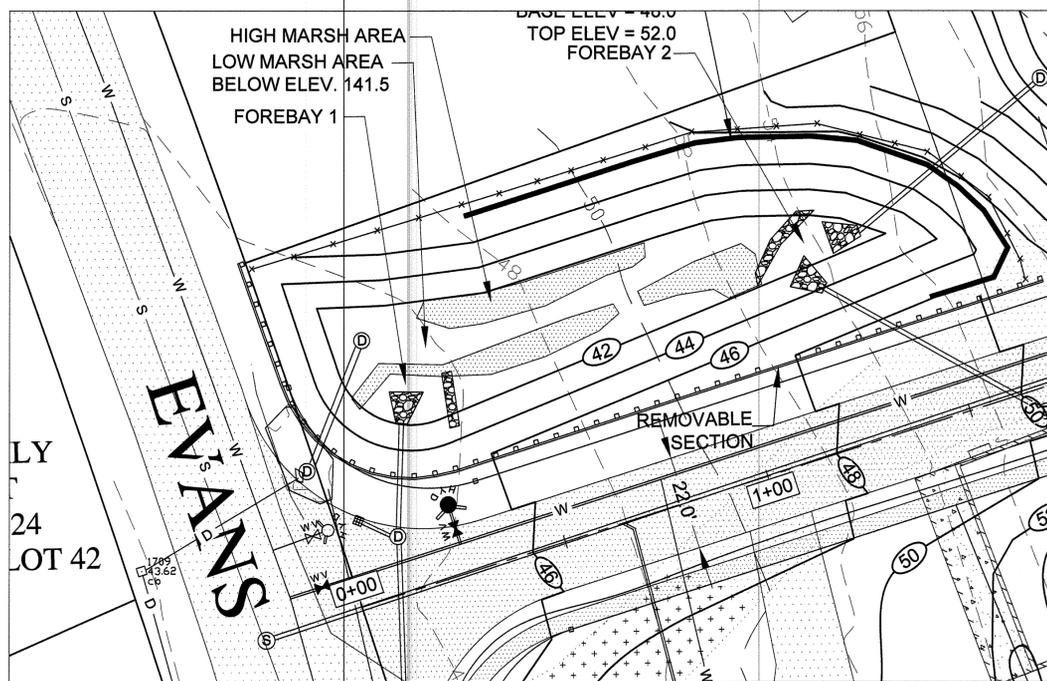


POCKET WETLAND DETAIL DETENTION POND 2
SCALE 1" = 20'

POCKET WETLAND DESIGN		
	WETLAND 1	WETLAND 2
DRAINAGE AREA	224,000 SF	166,000
WETLAND AREA	2240 SF	2003 SF
SURFACE TO WATERSHED RATIO	0.01	0.12
LENGTH	120	
WIDTH	20	
L TO W RATIO	6:1	
SURFACE AREA ALLOCATION		
WET POOL	235 SF	185 SF
LOW MARSH	1088 SF	968 SF
HIGH MARSH	853 SF	850 SF

NOTE:

1. POCKET WETLAND CONSTRUCTION SHALL BE MONITORED DURING CONSTRUCTION BY A QUALIFIED WETLAND SCIENTIST.
2. PRIOR TO POCKET WETLAND CONSTRUCTION A PLANTING LIST SHALL BE DEVELOPED BASED UPON PLANTINGS AVAILABLE AT THE TIME OF CONSTRUCTION.



POCKET WETLAND DETAIL DETENTION POND 1
SCALE 1" = 20'

APPROVAL BY AMESBURY PLANNING BOARD

DATE

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REV 1 DETAILS JULY 24, 2014

DEFINITIVE CLUSTER SUBDIVISION PLAN
POINT SHORE MEADOWS
ASSESSORS MAP 91, PARCELS 18 & 17A
AMESBURY, MA

DETAIL SHEET 6

PREPARED FOR
AMANDA LANE REALTY TRUST
1 RIVERVIEW BLVD
METHUEN, MA 01844

SCALE: AS SHOWN JUNE 30, 2014

BENJAMIN C. OSGOOD, JR., P.E.
24 JULIE AVE
SALEM, NH 03079

DRAWN BY: B.C.O., JR.	SHEET #: 15 of 18	CHECKED BY: B.C.O. Jr.
FILE #: 1529	DESIGN BY: B.C.O. Jr.	

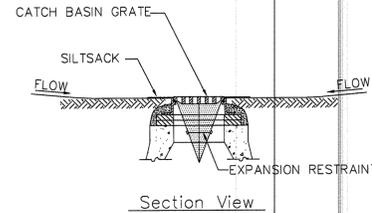
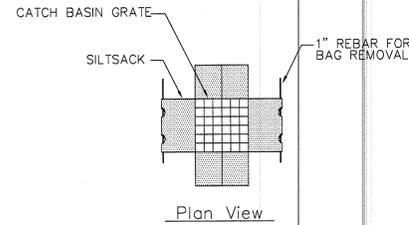
CERTIFICATION

I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.



COJ *8-4-14*

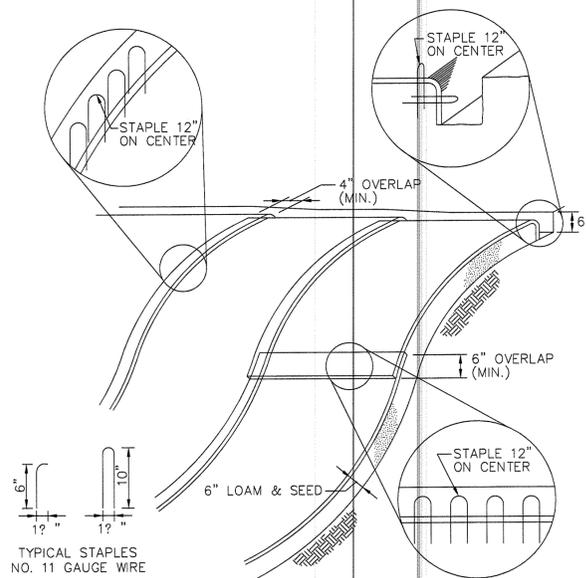
DATE



Notes:

1. INSTALL SILTSACK IN ALL CATCH BASINS UPON INSTALLATION.
2. GRATE TO BE PLACED OVER SILTSACK.
3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

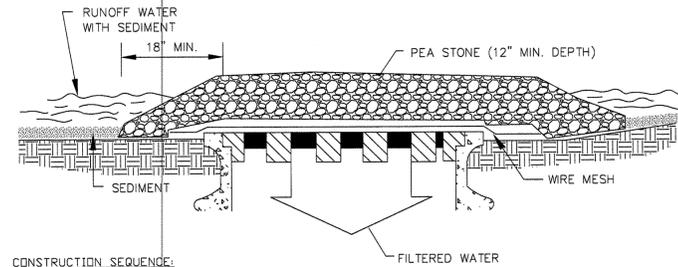
2 SILTSACK SEDIMENT TRAP
N.T.S.



Notes:

1. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH BACKFILL AND COMPACT TRENCH AFTER STAPLING.
2. ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW.
3. THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
4. WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE UPPER BLANKET END OVER LOWER END WITH 6 INCH (MIN.) OVERLAP AND STAPLE BOTH TOGETHER.
5. METHOD OF INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.

5 EROSION CONTROL BLANKET SLOPE DETAIL
N.T.S.



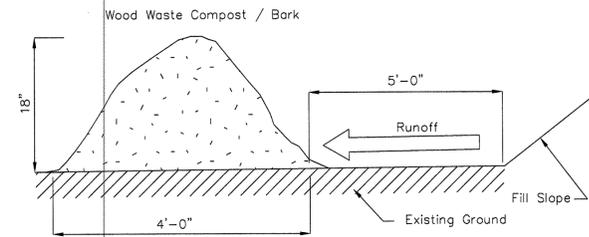
CONSTRUCTION SEQUENCE:

1. A WIRE MESH SHOULD BE PLACED OVER THE DROP INLET OR CURB OPENING SO THAT THE ENTIRE OPENING AND A MINIMUM OF 12 INCHES AROUND THE OPENING ARE COVERED BY THE MESH. THE MESH MAY BE ORDINARY HARDWARE CLOTH OR WIRE MESH WITH OPENINGS UP TO 1/2 INCH.
2. THE WIRE MESH SHOULD BE COVERED WITH CLEAN COARSE AGGREGATE SUCH AS SEWER STONE FOR A MINIMUM DEPTH OF 12 INCHES.
3. THE COARSE AGGREGATE SHOULD EXTEND AT LEAST 18 INCHES ON ALL SIDES OF THE DRAIN OPENING
4. THIS DEVICE FOR USE ON UNPAVED SURFACES.

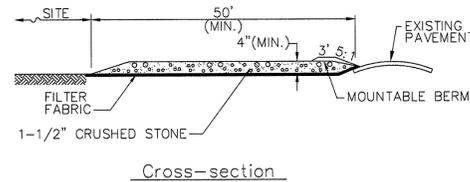
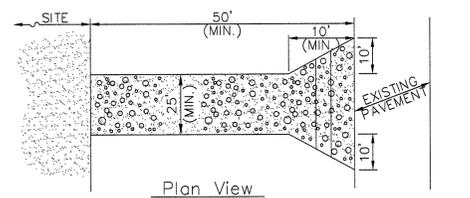
MAINTENANCE:

ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAIN STORM AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM THE TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED OF IN A SUITABLE AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURAL OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

8 STONE INLET PROTECTION
N.T.S.



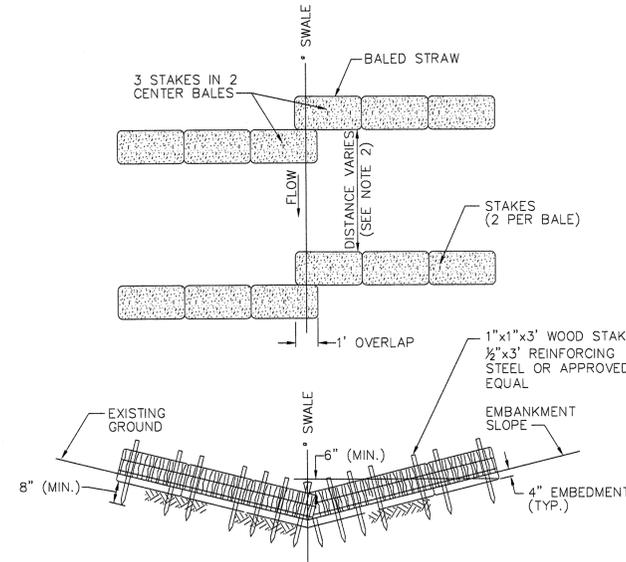
7 WOOD CHIP BERM
N.T.S.



Notes:

1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

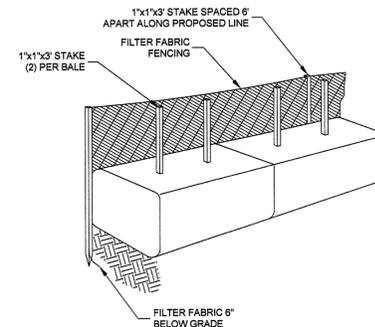
6 STABILIZED CONSTRUCTION EXIT
N.T.S.



Notes:

1. THIS CHECKDAM SHALL BE INSTALLED IN A DRAINAGE SWALE WITH BED WIDTHS OF 2 FT. OR LESS.
2. THE DISTANCE BETWEEN STRAW BALE CHECK DAMS SHALL BE DETERMINED BY THE SLOPE OF THE SWALE. CHECKDAMS SHALL BE SET AT EVERY 2 FT. DROP IN SWALE ELEVATION.
3. BALES SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
4. INSTALL 3 STAKES PER HAY BALE WITHIN SWALE BED AREAS.

4 HAY BALE CHECKDAM DETAIL
N.T.S.



6 DOUBLE STAKED STRAW BALES/SILT FENCE
N.T.S.

EROSION CONTROL NOTES (DURING CONSTRUCTION)

1. THE CONTRACTOR MUST INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND IN THE DETAILS PRIOR TO STARTING ANY OTHER WORK ON THE SITE. EROSION CONTROL MUST BE INSTALLED AT EVERY INLET STRUCTURE (EXISTING AND PROPOSED) AND MAINTAINED FOR THE DURATION OF THE PROJECT.
2. EROSION CONTROLS AS SHOWN ON PLANS SHALL BE INSPECTED, REPAIRED AND/OR MAINTAINED BY THE CONTRACTOR WEEKLY AND WITHIN 12 HOURS OF EACH STORM EVENT.
3. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH A DEPTH OF 6 INCHES.
4. SEDIMENT SHALL BE CONTAINED WITHIN THE CONSTRUCTION SITE, AWAY FROM DRAINAGE STRUCTURES AND DETENTION BASINS.
5. STABILIZE SLOPES STEEPER THAN 3:1 (HORIZONTAL TO VERTICAL) WITH SEED, SECURED GEOTEXTILE FABRIC, OR ROCK RIP-RAP AS REQUIRED TO PREVENT EROSION DURING CONSTRUCTION.
6. CLEAN OUT CATCH BASINS, DRAIN MANHOLES AND STORM DRAIN PIPES AFTER COMPLETION OF CONSTRUCTION.
7. LOAM AND SEED ALL DISTURBED AREAS.
8. UPON ESTABLISHMENT OF PERMANENT VEGETATION OVER DISTURBED AREAS, REMOVE AND DISPOSE OF HAYBALES, STAKES AND SILT FENCE.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND SUPPLEMENT THE SPECIFIED SEDIMENTATION CONTROLS AS NECESSARY TO PREVENT SEDIMENTATION OF OFF-SITE AREAS AND/OR ANY REGULATED RESOURCE AREAS. FAILURE BY THE CONTRACTOR TO CONTROL EROSION, POLLUTION AND/OR SILTATION SHALL BE CAUSE FOR THE OWNER TO EMPLOY OUTSIDE ASSISTANCE OR TO USE HIS OWN FORCES TO PROVIDE THE NECESSARY CORRECTIVE MEASURE. THE COST OF SUCH ASSISTANCE PLUS PROJECT ENGINEERING COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
10. THE CONTRACTOR SHALL CHECK THE CONDITION OF STRAW BALE BARRIERS DAILY TO KEEP THEM IN GOOD OPERATING CONDITION. SILT FENCES AND STRAW BALES SHALL ALSO BE INSPECTED, REPAIRED AND MAINTAINED BY THE CONTRACTOR WITHIN 12 HOURS OF ANY STORM EVENT PRODUCING 1/2 INCH OF RAINFALL. STRAW BALES SHALL BE REPLACED WHEN DETERIORATED, AND WHEN ORDERED BY THE ENGINEER. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH A DEPTH OF 6 INCHES.
11. EROSION AND SEDIMENTATION CONTROL SHALL BE IN COMPLIANCE WITH EPA, NPDES PHASE 2 EROSION CONTROL REQUIREMENTS.
12. A COPY OF THE DESIGN PLANS AND INSPECTION LOGS SHALL BE KEPT ON SITE AND AVAILABLE FOR INSPECTION.
13. AREAS ARE ONLY CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS HAVE BEEN INSTALLED;
 - B. A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIP-RAP, HAS BEEN INSTALLED;
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

APPROVAL BY AMESBURY PLANNING BOARD

DATE



FOR REGISTRY USE ONLY

REV 2 NOTES AUG 4, 2014

DEFINITIVE CLUSTER SUBDIVISION PLAN
 POINT SHORE MEADOWS
 ASSESSORS MAP 91, PARCELS 18 & 17A
 AMESBURY, MA

EROSION CONTROL DETAILS

PREPARED FOR
 AMANDA LANE REALTY TRUST
 1 RIVERVIEW BLVD
 METHUEN, MA 01844

SCALE: 1" = 40' JUNE 30, 2014



BENJAMIN C. OSGOOD, JR., P.E.
 24 JULIE AVE
 SALEM, NH 03079

DRAWN BY: K.J.B & B.C.O. JR	SHEET #: 17 of 18	CHECKED BY: B.C.O. Jr.
FILE #: 1529	DESIGN BY: B.C.O. Jr.	

STREET TREES AND PLANTINGS SHALL BE FROM THE FOLLOWING LIST

STREET TREES:

- | | |
|---------------------------|---|
| RED MAPLE | <i>Acer rubrum</i> |
| SUGAR MAPLE | <i>Acer saccharum</i> |
| WHITE OAK | <i>Quercus Alba</i> |
| BUR OAK | <i>Quercus macrocarpa</i> |
| PIN OAK | <i>Quercus palustris</i> |
| RED OAK | <i>Quercus rubra</i> |
| ENGLISH OAK | <i>Quercus rober</i> |
| GINKO | <i>Ginkgo biloba(male only)</i> |
| BLOODGOOD LONDON PLNETREE | <i>Platanus x acerfolia 'Bloodgood'</i> |
| GREENSPIRE LINDEN | <i>Tilia Cordata 'Greenspire'</i> |
| BOULEVARD LINDEN | <i>Tilia Americana 'Boulevard'</i> |
| GREEN ASH | <i>Fraxinus pennsylvanica</i> |
| BUCKEYE | <i>Aesculus glabra</i> |
| CATALPA | <i>Catalpa</i> |

Note: A variety of street trees shall be used along the roadway based upon availability

ORNAMENTAL TREES:

- | | |
|--------------------------|--|
| (JD) JAPANESE DOGWOOD | <i>Cornus Kousa</i> |
| (FD) FLOWERING DOGWOOD | <i>Cornis florida (disease resistant only)</i> |
| (WH) WASHINGTON HAWTHORN | <i>Crataegus Phaenopyrum</i> |
| (C) CRABAPPLE | Small fruited disease resistant only |
| (RB) RIVER BIRCH | <i>Betula nigra</i> |

EVERGREENS:

- | | |
|--------------------------|-------------------------------------|
| (WP) WHITE PINE | <i>Pinus Strobus</i> |
| (MS) NORWAY SPRUCE | <i>picea abies</i> |
| (CS) COLORADO SPRUCE | <i>Picea pungens</i> |
| (AA) AMERICAN ARBORVITAE | <i>Tuja occidentalis</i> |
| (RC) RED CEDAR | <i>Juniperus virginian communis</i> |

WETLAND BUFFER SHRUBS:

- | | |
|--------------------------|---|
| (HB) HIGH BUSH BLUEBERRY | <i>Vaccinium corymbosum</i> |
| (CW) COMMON WINTERBERRY | <i>Ilex verticillata (3:1 female to male)</i> |
| (SD) SILKY DOGWOOD | <i>Cornus amomum</i> |
| (BC) BLACK CHOKEBERRY | <i>Aronia melanocarpa</i> |
| (S) SERVICEBERRY | <i>Amolanchier arborea</i> |

APPROVAL BY AMESBURY PLANNING BOARD

DATE

REV 2 LOT LINES/AREAS & DRAINAGE AUG 4, 2014
 REV 1 INFILTRATION AREAS JULY 24, 2014

DEFINITIVE CLUSTER SUBDIVISION PLAN
 POINT SHORE MEADOWS
 ASSESSORS MAP 91, PARCELS 18 & 17A
 AMESBURY, MA

LANDSCAPE PLAN

PREPARED FOR
 AMANDA LANE REALTY TRUST
 1 RIVERVIEW BLVD
 METHUEN, MA 01844

SCALE: 1" = 40' JUNE 30, 2014

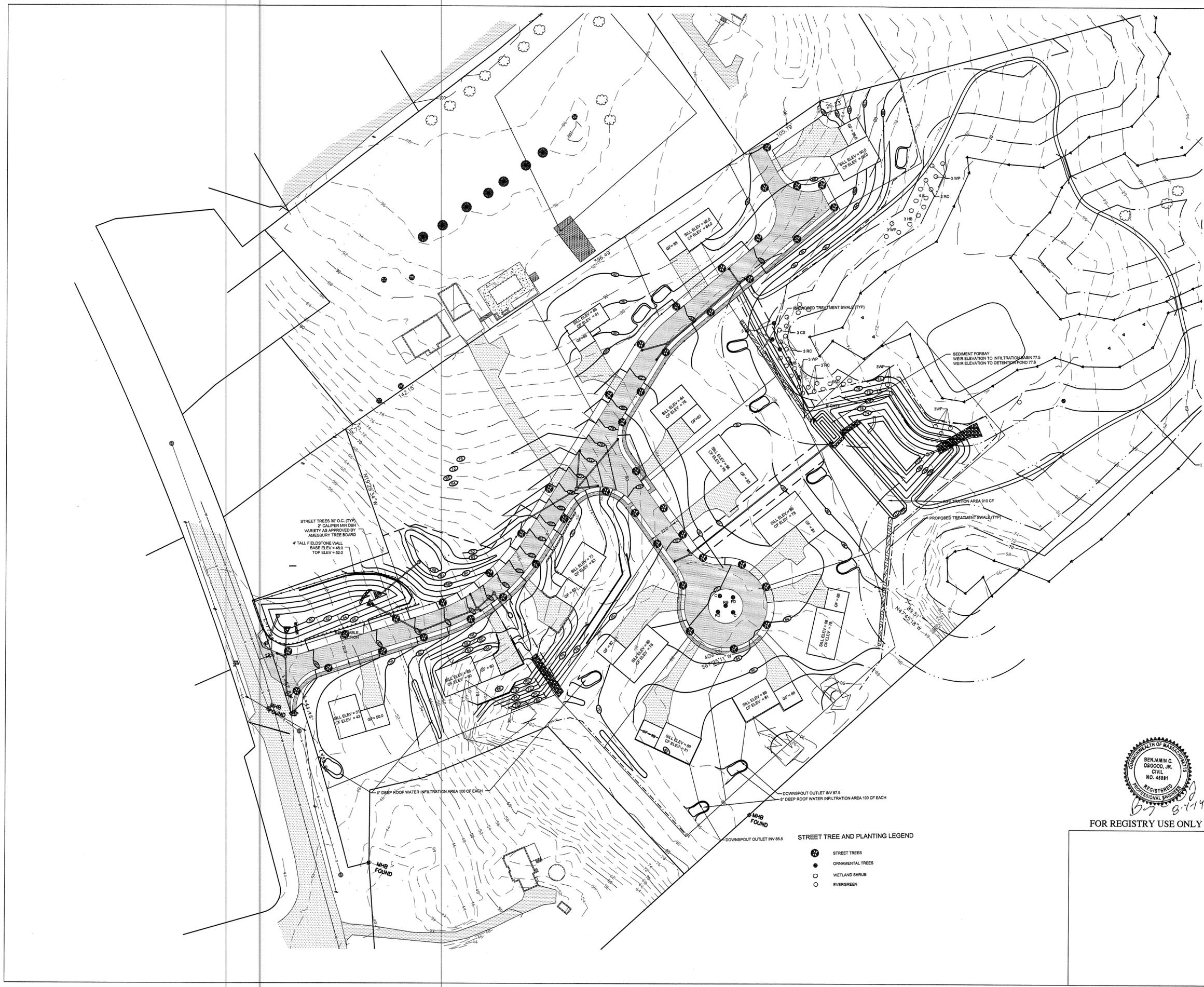


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 24 JULIE AVE
 SALEM, NH 03079

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FILE #: 1529	DESIGN BY:	B.C.O. Jr.

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B.C. Osgood, Jr.
 8-2-14

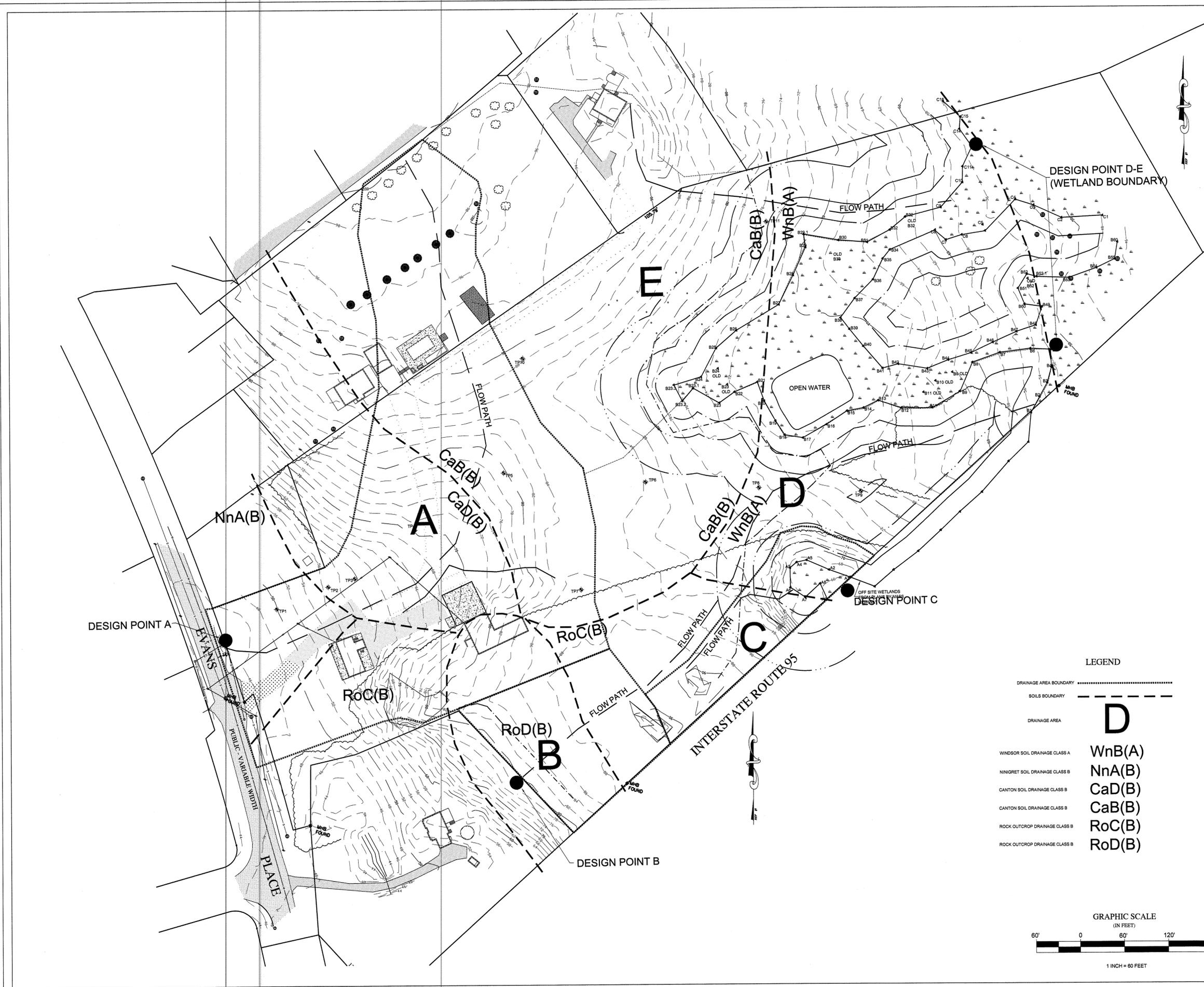


STREET TREE AND PLANTING LEGEND

- STREET TREES
- ORNAMENTAL TREES
- WETLAND SHRUB
- EVERGREEN

PARCEL 3
1.49 AC ±
NOT PART OF
SUBDIVISION

DESIGN POINT D-E
(WETLAND BOUNDARY)



DESIGN POINT A

NnA(B)

A

CaB(B)
CaD(B)

RoC(B)

RoD(B)

B

RoC(B)

DESIGN POINT B

E

CaB(B)
WnB(A)

C

D

FLOW PATH

OPEN WATER

FLOW PATH

DESIGN POINT C

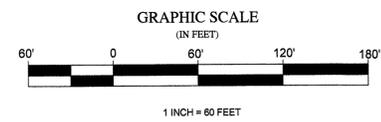
INTERSTATE ROUTE 95

PLACE

EVANS

LEGEND

- DRAINAGE AREA BOUNDARY
- SOILS BOUNDARY
- DRAINAGE AREA **D**
- WINDSOR SOIL DRAINAGE CLASS A **WnB(A)**
- NINIGRET SOIL DRAINAGE CLASS B **NnA(B)**
- CANTON SOIL DRAINAGE CLASS B **CaD(B)**
- CANTON SOIL DRAINAGE CLASS B **CaB(B)**
- ROCK OUTCROP DRAINAGE CLASS B **RoC(B)**
- ROCK OUTCROP DRAINAGE CLASS B **RoD(B)**



DEFINITIVE CLUSTER SUBDIVISION PLAN
POINT SHORE MEADOWS
ASSESSORS MAP 91, PARCELS 18 & 17A
AMESBURY, MA

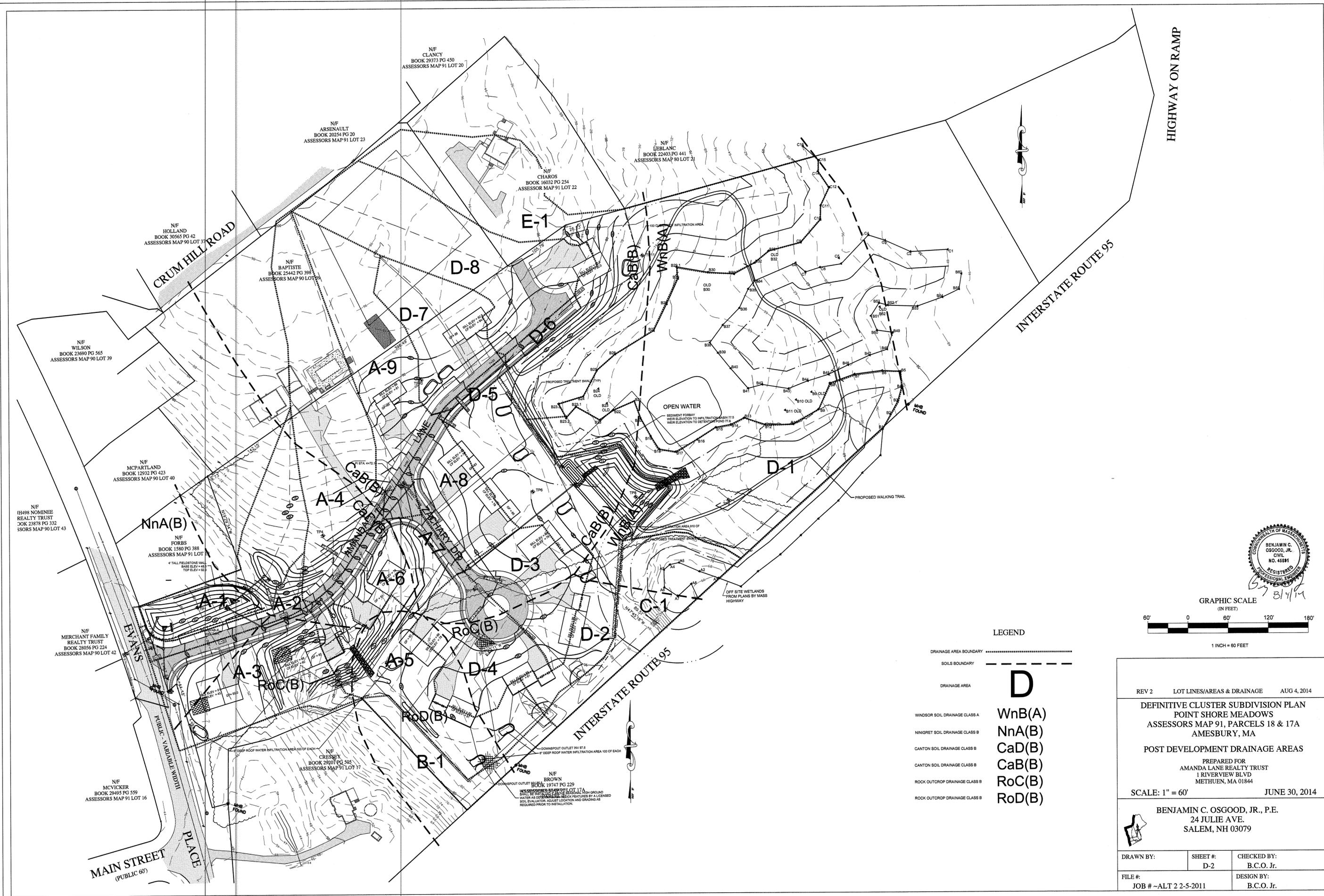
PRE DEVELOPMENT DRAINAGE AREA PLAN

PREPARED FOR
AMANDA LANE REALTY TRUST
1 RIVERVIEW BLVD
METHUEN, MA 01844

SCALE: 1" = 60' JUNE 30, 2014

BENJAMIN C. OSGOOD, JR., P.E.
24 JULIE AVE.
SALEM, NH 03079

DRAWN BY:	SHEET #: D-1	CHECKED BY: B.C.O. Jr.
FILE #: JOB # - ALT 2 2-5-2011	DESIGN BY: B.C.O. Jr.	



HIGHWAY ON RAMP

INTERSTATE ROUTE 95

CRUM HILL ROAD

MAIN STREET
(PUBLIC 60)

NnA(B)

N/F CLANCY
BOOK 29373 PG 450
ASSESSORS MAP 91 LOT 20

N/F ARSENAULT
BOOK 20244 PG 20
ASSESSORS MAP 91 LOT 23

N/F CHIAROS
BOOK 16032 PG 254
ASSESSORS MAP 91 LOT 22

N/F LEBLANC
BOOK 22403 PG 441
ASSESSORS MAP 80 LOT 21

N/F HOLLAND
BOOK 30565 PG 42
ASSESSORS MAP 90 LOT 37

N/F BAPTISTE
BOOK 25442 PG 398
ASSESSORS MAP 90 LOT 59

N/F WILSON
BOOK 23690 PG 565
ASSESSORS MAP 90 LOT 39

N/F MCPARTLAND
BOOK 12932 PG 423
ASSESSORS MAP 90 LOT 40

N/F IH498 NOMINEE
REALTY TRUST
BOOK 23878 PG 132
ASSESSORS MAP 90 LOT 43

N/F FORBS
BOOK 1580 PG 388
ASSESSORS MAP 91 LOT 1

N/F MERCHANT FAMILY
REALTY TRUST
BOOK 28056 PG 224
ASSESSORS MAP 90 LOT 42

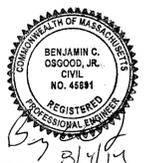
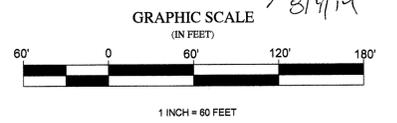
N/F MCVICKER
BOOK 29495 PG 559
ASSESSORS MAP 91 LOT 16

N/F CRESSEY
BOOK 29201 PG 505
ASSESSORS MAP 91 LOT 17

N/F BROWN
BOOK 19747 PG 229
ASSESSORS MAP 91 LOT 18

LEGEND

- DRAINAGE AREA BOUNDARY
 - SOILS BOUNDARY
 - DRAINAGE AREA
 - WINDSOR SOIL DRAINAGE CLASS A
 - NINGRET SOIL DRAINAGE CLASS B
 - CANTON SOIL DRAINAGE CLASS B
 - CANTON SOIL DRAINAGE CLASS B
 - ROCK OUTCROP DRAINAGE CLASS B
 - ROCK OUTCROP DRAINAGE CLASS B
- D**
- WnB(A)
 - NnA(B)
 - CaD(B)
 - CaB(B)
 - RoC(B)
 - RoD(B)



REV 2 LOT LINES/AREAS & DRAINAGE AUG 4, 2014

DEFINITE CLUSTER SUBDIVISION PLAN
POINT SHORE MEADOWS
ASSESSORS MAP 91, PARCELS 18 & 17A
AMESBURY, MA

POST DEVELOPMENT DRAINAGE AREAS

PREPARED FOR
AMANDA LANE REALTY TRUST
1 RIVERVIEW BLVD
METHUEN, MA 01844

SCALE: 1" = 60' JUNE 30, 2014

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SALEM, NH 03079

DRAWN BY:	SHEET #:	CHECKED BY:
	D-2	B.C.O. Jr.
FILE #:	JOB # -ALT 2 2-5-2011	DESIGN BY:
		B.C.O. Jr.